

## Application Requirements – ACCESSORY STRUCTURE

Building an *Accessory Structure* on your property [*ie, a garage, shed, addition, deck, etc.*], you will need to acquire both a **DEVELOPMENT PERMIT** and a **BUILDING PERMIT**. If you intend to add electricity, a garage heater or plumbing, that scope of work will require additional safety code permits.

For all accessory structures, you will need to fill out the attached *DEVELOPMENT* permit application forms. The Development Permit is applied for, processed, and administered through the Town of Raymond Development Office. Once the Development Permit has been issued, all safety code permits may be applied for directly through Park Enterprises at <https://parkinspections.com/>

Accompanying these forms, you will need the following:

- a) A *SITE PLAN* demonstrating where on the lot you are proposing to build your accessory building. A site plan is an overhead view of your lot, with the existing property lines, existing structures, and your new proposed structure illustrated in relation to everything else, with approx. distance measurements of the new structure and distance measurements to property lines.
- b) Some basic *BUILDING PLANS*, which contain some basic construction details and drawings, including a cross-section of the proposed structure. “*See the Detached Garage Construction Detail Sheet attached to this package.*”

*NOTE: Both of these plans may be hand-drawn*

All of the above can be submitted to the Town of Raymond along with payment of the permit application fee (as found in the Fees and Charges bylaw), which will be processed at the time the completed application is submitted.

Any further questions, please don't hesitate to contact me.

Kind Regards,



Tyler Nelson  
Director of Planning & Development  
[tylernelson@raymond.ca](mailto:tylernelson@raymond.ca)

# RAYMOND

## DEVELOPMENT PERMIT APPLICATION

Date of Application: \_\_\_\_\_

Estimated Start Date: \_\_\_\_\_

Estimated Value of Construction: \_\_\_\_\_

Development Permit Application DA	
Date Application Deemed Complete	
Development Application Fee:	

**IMPORTANT NOTICE:** This application **does not** permit you to commence construction until such time as a permit has been issued by the Development Authority. If approval has not been received within 40 days of the date the application is deemed complete, you have the right to file an appeal to the Subdivision and Development Appeal Board.

**THIS DOES NOT CONSTITUTE A BUILDING PERMIT.  
A SEPARATE BUILDING PERMIT MUST BE OBTAINED BEFORE CONSTRUCTION BEGINS.**

### PROPERTY INFORMATION

Municipal Address: \_\_\_\_\_

Legal Description: Lot(s) \_\_\_\_\_ Block \_\_\_\_\_ Plan \_\_\_\_\_

Land Use District: \_\_\_\_\_ Existing Use: \_\_\_\_\_

Describe Proposed Development:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

### APPLICANT INFORMATION

Applicant's Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City/Town \_\_\_\_\_

Postal Code \_\_\_\_\_

Email: \_\_\_\_\_

Check this box if you would like to receive documents through email.

Is the applicant the owner of the property?  Yes

If "NO" please complete the information below **No**

Owner's Name: _____	<b>Applicant's Interest in the property:</b> <input type="checkbox"/> Agent <input type="checkbox"/> Contractor <input type="checkbox"/> Tenant <input type="checkbox"/> Other _____
Mailing Address: _____	
Owner Signature: _____	





**DEVELOPMENT INFORMATION**

The purpose of this application is to: (check all that apply)

- Construct a new
 Single Detached Dwelling
 2-Unit Dwelling
 Multi-Unit - Please specify the number of dwelling units - \_\_\_\_
 Accessory Structure
 Other \_\_\_\_\_
 Alter/Renovate the existing building
The renovation is a:
 Interior Renovation
 Addition
 Other: \_\_\_\_\_
 Basement Development
 Deck
 Demolish existing building
 Other \_\_\_\_\_

**BUILDING REQUIREMENTS**

Table with 5 columns: Principal Building, Accessory Building / Addition / Deck, Renovation / Basement Development, Office Use, and Square Footage/Height/Proposed Setbacks from Property Lines.

Total Square Feet of Principal Structure: \_\_\_\_\_ Total Square Feet of Accessory Structures: \_\_\_\_\_
(all accessory structures combined)

Combined total % of lot occupied by buildings (Principal & Accessory Structures): \_\_\_\_\_

I hereby understand that development of a principal building or dwelling I must apply for and receive a Construction Compliance Certificate PRIOR to occupancy (including moving in belongings). Failure to do so will result in a \$500.00 late application fee and possible order to vacate the home. \_\_\_\_\_ (please initial)

I hereby certify that the information contained in this application, including any further information contained in attached materials, is full and complete and is, to the best of my knowledge, a true statement of the facts in relation to the application for a Development Permit. I further certify that the owner of the land described above is aware of this application and that I will not commence this development until a valid development permit is issued.

Signature of Applicant: \_\_\_\_\_ Date: \_\_\_\_\_



# Accessory Buildings



## Detached Garages & Sheds

### Construction Detail Sheet

1. Please complete items (MARKED IN RED BELOW) :

- A. Roof Pitch
- B. Maximum Building Height
- C. Eave Projection
- D. Overhead Garage Door Size
- E. Garage Length
- F. Garage Width
- G. Wall Height

PLEASE NOTE:

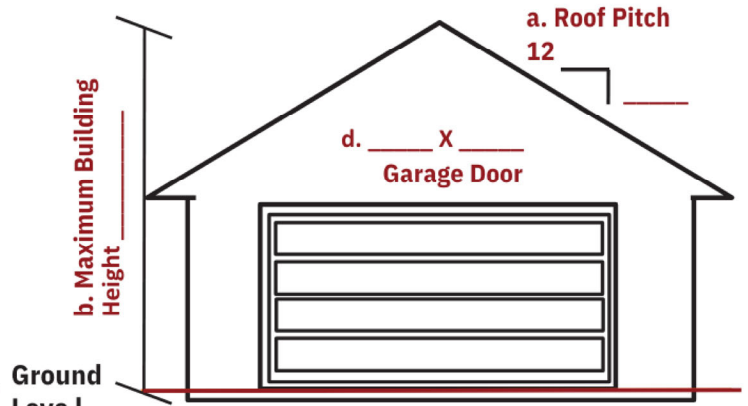
- Oversized garages larger than 592 sq ft will require review and approval by Safety Codes Officer.
- Walls to be secured to the slab with anchor bolts at 8 feet on center maximum.
- Cannot build over an underground line or within a registered easement.
- A separate permit is required for each of the following items, if applicable: Gas Permit, Plumbing Permit, and Electrical Permit
- All garages must have a man door.

2. Please indicate on all elevations the location of:

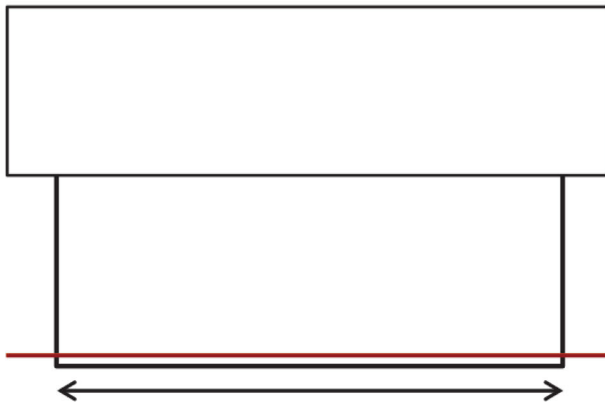
- A. Windows
- B. Doors



Right Elevation

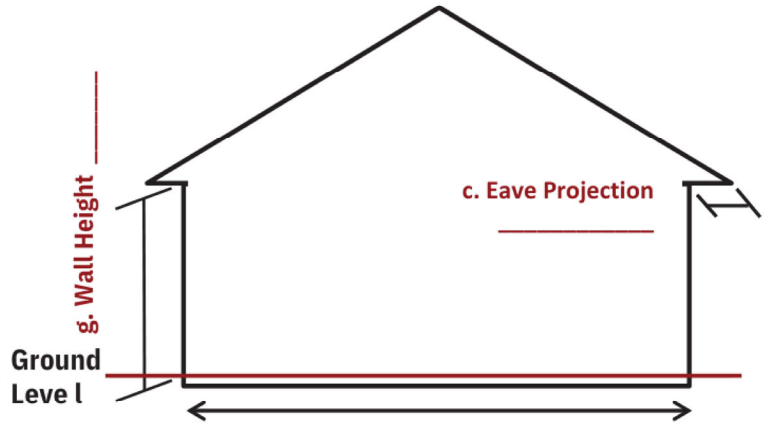


Front Elevation



e. Garage Length \_\_\_\_\_

Left Elevation



f. Garage Width \_\_\_\_\_

Rear Elevation

# Accessory Buildings

## Detached Garages & Sheds

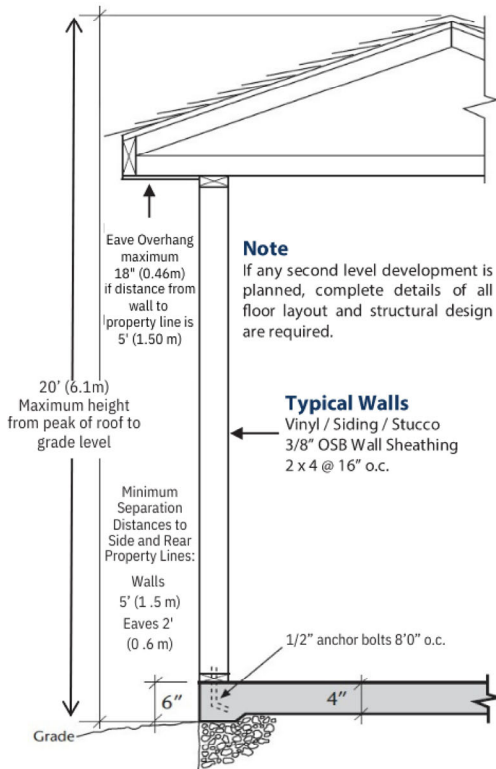


**Development Office**

210N 200W  
P.O. Box 629  
Raymond, Alberta T0K 2S0  
403-752-3322

### Typical Roof

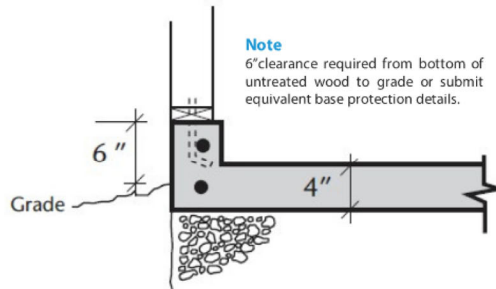
Asphalt Shingles  
3/8" OSB Roof Sheathing  
Pre-Manufactured Engineered Roof Trusses @ 24" o.c.



**Note**  
If any second level development is planned, complete details of all floor layout and structural design are required.

**Typical Walls**  
Vinyl / Siding / Stucco  
3/8" OSB Wall Sheathing  
2 x 4 @ 16" o.c.

### Alternate Concrete Curb Detail



**Note**  
6" clearance required from bottom of untreated wood to grade or submit equivalent base protection details.

- Door opening up to 16'6" requires a minimum 4 ply – 2" x12" on engineered beams to be substituted if supplier letter and details are submitted.
- Garages up to 592 sq ft can have a minimum 4" concrete slab or the walls can be supported on a treated mud sill.
- Oversized garages will require engineer design or 4'0" foundation wall on strip footing.
- The property owner is responsible for contacting Alberta One Call and having all utility locations marked prior to construction. Permission to build over any utility must be approved by that utility provider.

### Work Details

Please complete the following, indicating the extent of the work to be completed.

#### Roof

- Roofing Materials
- Asphalt Shingles
  - Cedar, Pine Shakes Shingles
  - Metal Roofing
  - Other \_\_\_\_\_

#### Walls

- Exterior Finish
- Vinyl Siding
  - Stucco
  - Fiber Cement Siding
  - Metal Siding
  - Other \_\_\_\_\_

#### Roof Sheathing

- 3/8" OSB
- 3/8" plywood
- 1/2" plywood
- 1/2" OSB
- Other \_\_\_\_\_

#### Wall Sheathing

- 3/8" OSB
- 3/8" plywood
- 1/2" plywood
- 1/2" OSB
- Other \_\_\_\_\_

#### Roof Framing

- Pre-Manufactured Engineered Trusses
- Stick Built Roof Framing
- 2 x 4 @ 16" or 24" o.c.
- 2 x 6 @ 16" or 24" o.c.
- Other \_\_\_\_\_

#### Wall Framing

- 2 x 4 @ 16" o.c.
- 2 x 4 @ 24" o.c.
- 2 x 6 @ 16" or 24" o.c.
- Insulated Walls + Ceiling
- Interior Finish (drywall, etc.)

#### Garage Door Beam

- Built up Beam
- Engineered Beam
- Length \_\_\_\_\_
- Depth \_\_\_\_\_
- Number of Plys \_\_\_\_\_

#### Direction of Trusses

- Parallel to overhead door
- Perpendicular to overhead door

### Standard Detached Garage Details – Notes

- Windows cannot be placed in a wall that is less than 4'0" to the property line.
- If the roof framing members transfer roof loading to the overhead garage door beam, specify the size of the beam.
- Door opening width up to 9'5" – requires a minimum 2 ply – 2" x 10".

\_\_\_\_\_ Date

\_\_\_\_\_ Dev. Permit No.

\_\_\_\_\_ Applicant Name (Please Print)

\_\_\_\_\_ Signature

## FREQUENTLY ASKED QUESTIONS

### What are the required setbacks?

NO accessory structure is allowed in a front yard or secondary front yard. All other setbacks are as follows, **1.5m (5 ft)** from SIDE and REAR property lines\*. EAVES shall be no closer than **0.6m (2 ft)** from property lines.

\*NOTE **12.2m (40ft)** from LANEWAY (alley) if applicable

### What kind of plans do I need to submit?

Complete construction drawings including site plan, elevations/professionally prepared drainage plan and engineer stamped drawings (if applicable).

### Do I need any other permits?

If you wish to run services to the accessory structure (electrical, plumbing, gas, and/or heating) **additional permits will be required.**

### Can I start building before my permit is issued?

No. Work should not begin prior to permit issuance. The proposed location must first be reviewed and approved for compliance with the Land Use Bylaw. The development review will be performed as a part of the building permit application prior to being issued. Once issued, you may begin construction and scheduling inspections.

### Is there a limit on the size of detached garage I can build?

The Land Use Bylaw allows accessory structures as permitted use in General Residential R-1 district up to **49m<sup>2</sup>(528ft<sup>2</sup>)** or as discretionary use greater than **49m<sup>2</sup>(528ft<sup>2</sup>)**. The combined total of all accessory structures cannot exceed **83.6m<sup>2</sup>(900ft<sup>2</sup>)** and have a maximum height of **6.1m (20ft)**. It is possible to apply for a waiver of those provisions. Please contact the Town of Raymond Development Office at (403) 752 3322 or visit us online for more information on land use regulations and waiver information. Combined total of the principal and accessory structures not to exceed 45% lot coverage.

### How do I request an inspection?

The Town of Raymond contracts **Park Enterprises LTD.** for all of our safety code inspections. To schedule an inspection or for any questions regarding safety codes please contact them at **(403) 329 3747.**

### Do I need a permit to pour concrete?

No. You may wish to contact the planning & development office for more information.

**R** Planning and Development

RAYMOND

CONTACT US:

Box 629

210 N 200 W

Raymond, AB

T0K 2S0

P-(403) 752-3322

F-(403) 752-4379

contact@raymond.ca

RAYMOND.CA/planning-development

TO LOCATE UNDERGROUND LINES CONTACT:



<http://www.clickbeforeyoudig.com/>

<https://utilitiesafety.ca/wheres-the-line/click-before-you-dig>

This brochure is intended to offer general guidance to explain the requirements for an accessory structure in the R-1 General Residential zone. Please refer to the Land Use Bylaw and The Alberta Building Code for a complete list of regulations. For more information or to download application forms go to:

[raymond.ca/planning-development](http://raymond.ca/planning-development)

## Additional Information

Your property may have restrictive covenants, caveats, easement agreements for utility right-of-way, and/or architectural controls registered against the title that limits the size, location and/or design of your shed and garage.

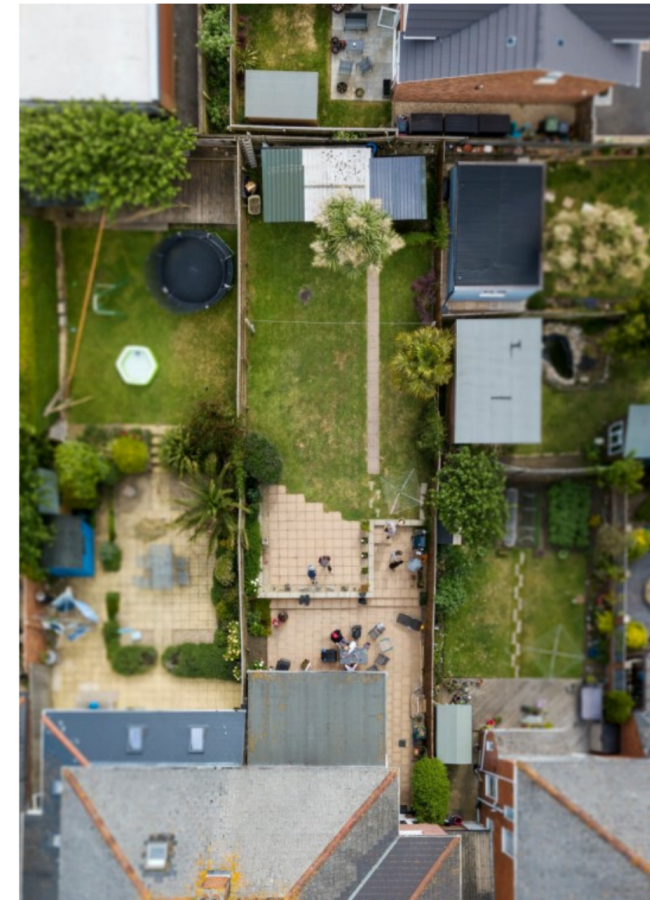
### Note:

This is a general guide only. Additional information may be required. When you apply, personal information may be collected under the authority of Section 33 of the Alberta Freedom of Information and Protection of Privacy Act (FOIPP). Section 642 of the Municipal Government Act and/or Section 63 of the Safety Codes Act. The information will be used to process your application(s) and your name and address may be included on reports that are available to the public. If you have any questions, please contact our office.

**R** RAYMOND

Accessory  
Buildings

Detached Garages  
& Sheds



**R** RAYMOND

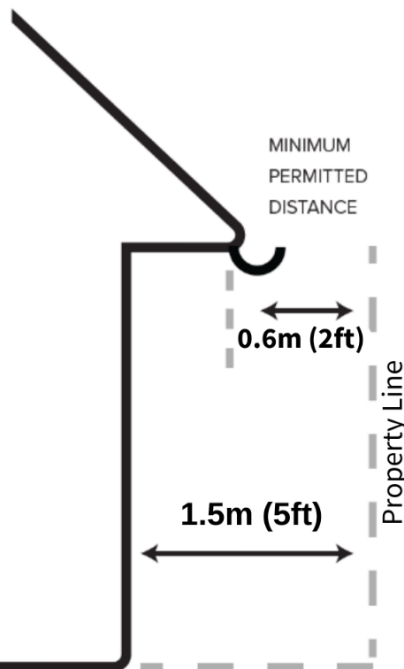
Planning and Development

## LAND USE BYLAW REQUIREMENTS

The accessory building must be:

- not located in the front yard or secondary front yard. (Corner lots have a secondary front yard);
  - located a minimum of **1.5m (5ft)** from side and rear property lines;
  - must be a minimum of **12.2m (40ft)** from a rear or side property line adjacent to an alley or an infill block, where road right-of-way has **not been dedicated**;
  - a maximum height of **6.1m (20ft)**;
  - combined total of all accessory structures on the property not to exceed more than **83.6m<sup>2</sup>(900ft<sup>2</sup>)**;
- and
- the eaves overhang can be no closer than **0.6m (2 ft)** to the property lines.

**FIGURE 1.** SETBACK FROM OVERHANG



## ACCESSORY BUILDING REQUIREMENTS

An accessory building project includes structures such as sheds, detached garages, freestanding covered decks, pergolas, and gazebos.

The **1st shed under 10m<sup>2</sup> (108ft<sup>2</sup>) DOES NOT REQUIRE** a development or building permit. It must otherwise follow the guidelines listed above as outlined by our Land Use Bylaw No. 987-11.

The **2nd shed, under 10m<sup>2</sup>(108ft<sup>2</sup>) REQUIRES** a development permit but not a building permit.

Any accessory building **over 10m<sup>2</sup>(108ft<sup>2</sup>) REQUIRES** both a development and a building permit.

## APPLICATION REQUIREMENTS

A complete application includes:

- a **development permit** application completed and signed;
  - a **site plan** showing the location of the proposed detached structure and setbacks, including eave projections;
  - a complete set of **construction drawings** and engineered stamped drawings (if applicable) showing measurements and construction material breakdowns;
  - an elevation/drainage plan (if required)
- Please Include any:**
- plumbing permits;
  - gas permits; and/or
  - electrical permits

All of these can be applied for at the town office.

## APPLICATION PROCESS

Applications are reviewed to meet development requirements and compliance with the Land Use Bylaw No. 987-11.

Applications, requiring building permits, are then sent off to Park Enterprises LTD. to be reviewed to see if they meet the building requirements and compliance with the Alberta Building Code.

When all requirements are satisfied a building permit will be issued.

\*There is a 21 day appeal period that must lapse before building can commence.

**FIGURE 2.** EXAMPLE OF A TYPICAL SITE PLAN OF A DETACHED RESIDENTIAL GARAGE ON AN INTERIOR PARCEL

