

TOWN OF RAYMOND
BYLAW NO. 1125-23

BEING a bylaw of the Town of Raymond, in the Province of Alberta, to amend Bylaw No. 987-11, being the municipality's Land Use Bylaw.

AND WHEREAS the Council of the Town of Raymond is in receipt of a request to redesignate the following land described as:

A Portion of Lot 4MR, Block 2, Plan 1012662
Adjacent to Units 15 & 16, Plan 1312843
Totalling Approximately 0.11 Hectares (0.26 Acres)

from "Parks and Open Space – POS-1" to General Residential – R-1", as shown on the map in Schedule 'A', attached hereto, to accommodate residential use.

AND WHEREAS the municipality must prepare a corresponding bylaw and provide for its consideration at a public hearing.

THEREFORE under the authority and subject to the provisions of the Municipal Government Act, Revised Statutes of Alberta 2000, Chapter M-26, as amended, the Council duly assembled does hereby enact the following:

1. That the land described as a portion of Lot 4MR, Block 2, Plan 1012662, Adjacent to Units 15 & 16, Plan 1312843, Totalling Approximately 0.11 Hectares (0.26 Acres), as shown on the attached Schedule 'A', is designated General Residential – R-1.
2. That the Land Use Districts Map of the Town of Raymond Land Use Bylaw No. 987-11 is amended to reflect this designation.
3. Bylaw No. 987-11, being the Land Use Bylaw, is hereby amended and a consolidated version of the Land Use Bylaw reflecting the amendment is authorized to be prepared.
4. This bylaw comes into effect upon third and final reading hereof.

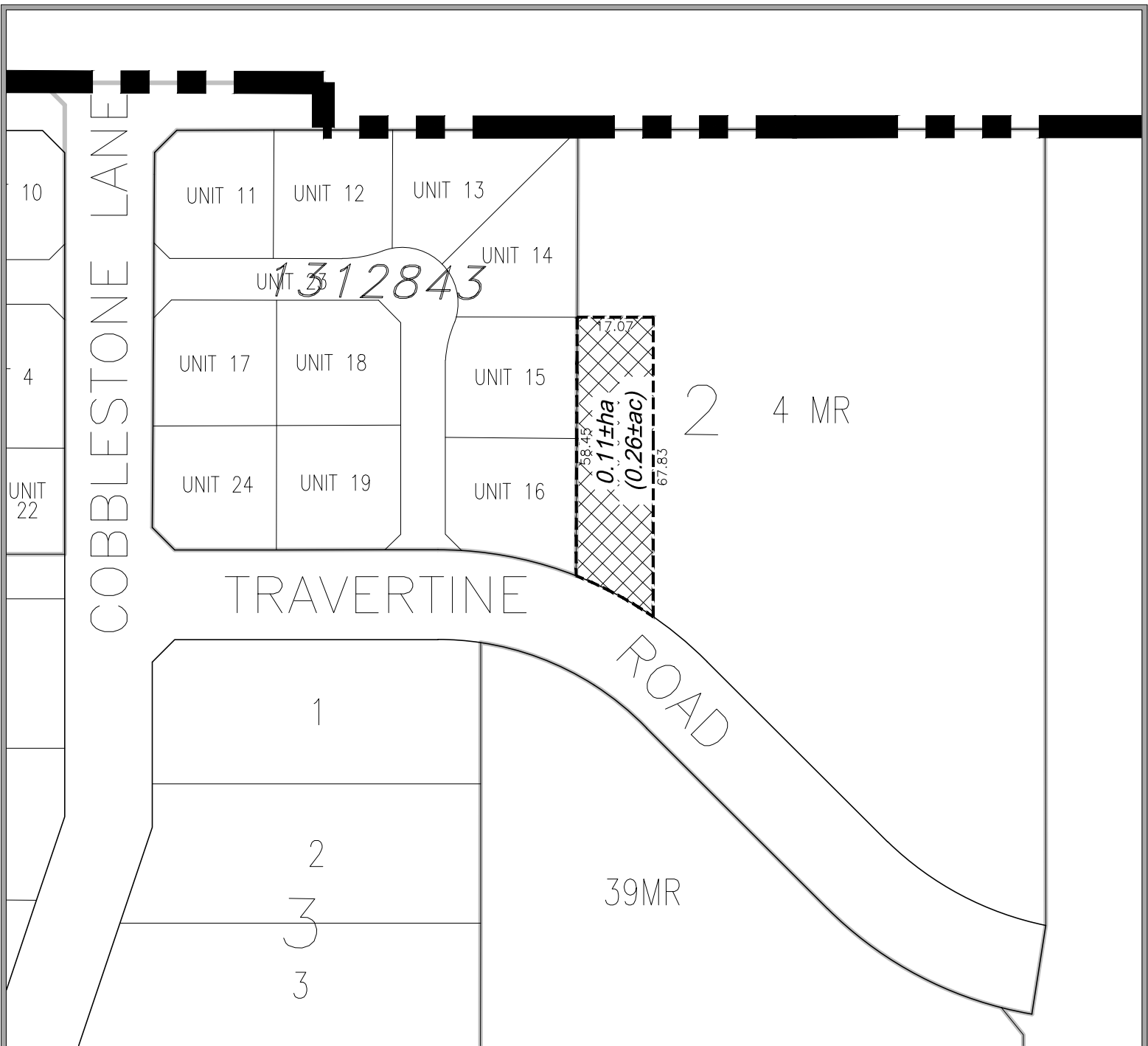
READ a **first** time this ____ day of _____, 2023.

READ a **second** time this ____ day of _____, 2023.

READ a **third** time and finally passed this ____ day of _____, 2023.

Mayor – Jim Depew

Chief Administrative Officer – Kurtis Pratt



LAND USE DISTRICT REDESIGNATION SCHEDULE 'A'



FROM: PARKS AND OPEN SPACE – POS-1
TO: GENERAL RESIDENTIAL – R-1

PORTION OF LOT 4MR, BLOCK 2, PLAN 1012662
WITHIN SW 1/4 SEC 9, TWP 6, RGE 20, W 4 M

MUNICIPALITY: TOWN OF RAYMOND
DATE: MARCH 23, 2023

Bylaw #: 1125-23
Date: _____



MAP PREPARED BY:
OLDMAN RIVER REGIONAL SERVICES COMMISSION
3105 16th AVENUE NORTH, LETHBRIDGE, ALBERTA T1H 5E8
TEL. 403-329-1344
"NOT RESPONSIBLE FOR ERRORS OR OMISSIONS"



LAND USE BYLAW AMENDMENT APPLICATION

(Including Applications to Re-Zone Land According to Part 1 Section 51 in the
Town of Raymond Land Use Bylaw NO. 987-11)

Office Use

Application # <u>B1125-23</u>	Land Use District: <u>PARKS & OPEN SPACE (POS-1)</u>
Received By: _____	Additional Information Attached: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Date Application Complete: <u>MARCH 29, '23</u>	Application Fee: <u>\$800</u> (Non-Refundable)

I / WE hereby make application under the provisions of the Land Use Bylaw NO. 987-11 to the
Raymond Town Council to AMEND THE LAND USE BYLAW (LUB).

Applicants Name: TOWN OF RAYMOND Phone: 403-752-3322
Mailing Address: P.O. Box 629 Town: RAYMOND Prov: AB Postal Code: T0K 2S0
Email Address: markboltezar@raymond.ca Alt. Phone: _____

Application For: REZONE FROM PARKS & OPEN SPACE (POS-1) TO GENERAL RESIDENTIAL (R1)
Nature of the Proposed LUB Amendment:

TO ACCOMMODATE THE INCREASE IN SIZE OF LOTS 15 & 16
CONDOMINIUM PLAN 1312843

LAND USE DISTRICT RE-ZONE APPLICATION

Land to Be Re-Zoned: UNITS 15/16 PLAN 1312843 TO INCLUDE 17.07m of LOT 4MR
Subdivision Area and/or Phase: STONEGATE VILLAGE PHASE 1A BLOCK 2
Planning Document or Statutory Plan In Support of Re-Zone: STONEGATE MEADOWS ASP PLAN 101 2662
Application Details: _____

TO INCREASE THE SIZE OF THE REAR YARD OF UNITS 15/16 PLAN 1312843
BY ADJUSTING THE BOUNDARY OF LOT 4MR, BLOCK 2, PLAN 101 2662 OVER 17.07m.

Description of Additional Materials Attached (if any):

SEE ATTACHED

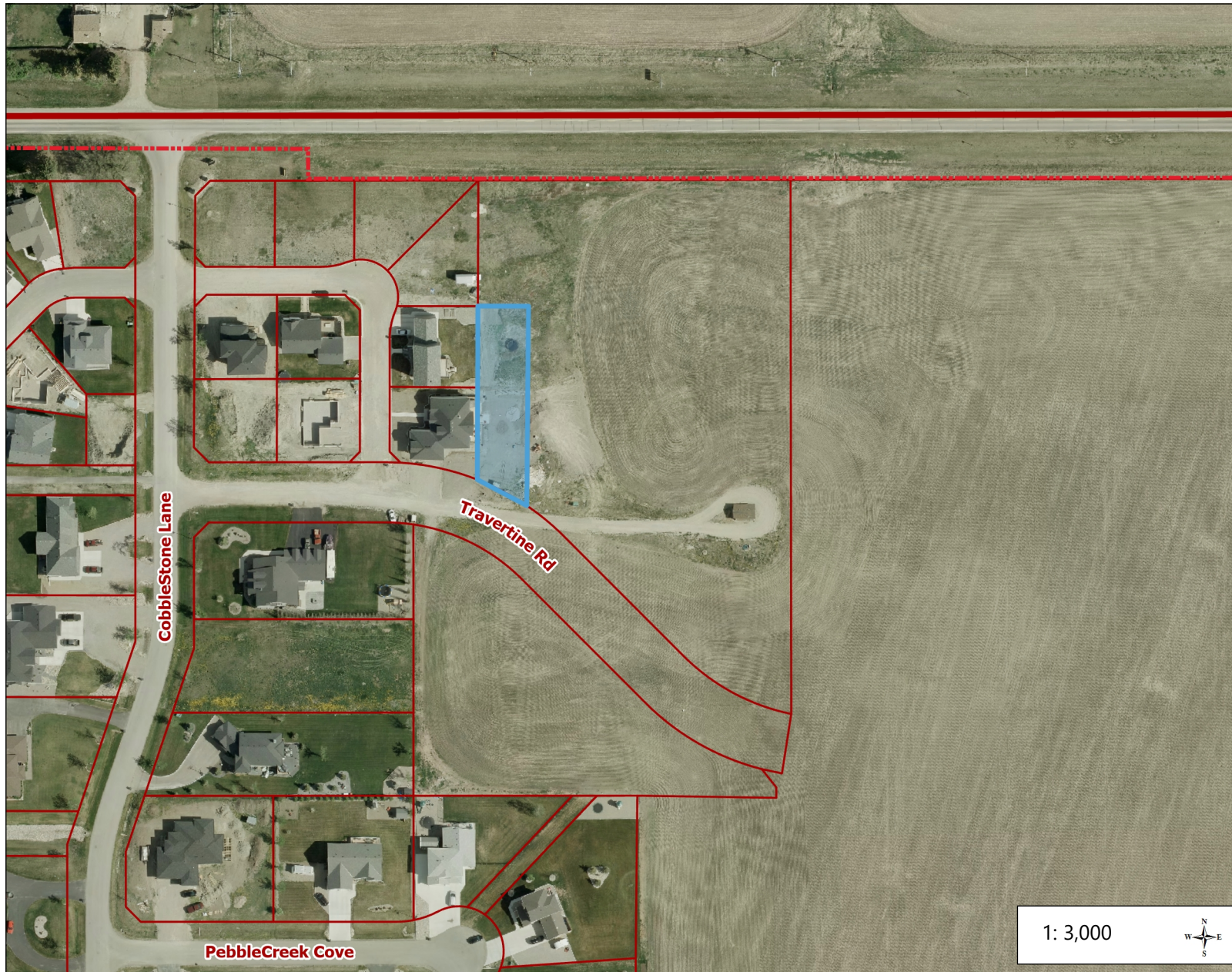
I / WE Hereby certify that the information contained in this application, including any further
information contained in attached materials is to the best of my knowledge true. I / WE further certify
that the owner of land described above is aware of this application.

Signature of Applicant:  Date: MARCH 29, 2023

Signature of Owner (if different): _____ Date: _____



Town of Raymond



Legend

- Road Labels
- Hwy 845
- Hwy 845 Symbol
- Hwy 52 Symbol
- Hwy 52
- Town Boundary
- Closed Roads
- Waste Transfer 300m Buffer
- Title Linework
- Parcels

1: 3,000



0.2 0 0.08 0.2 Kilometers

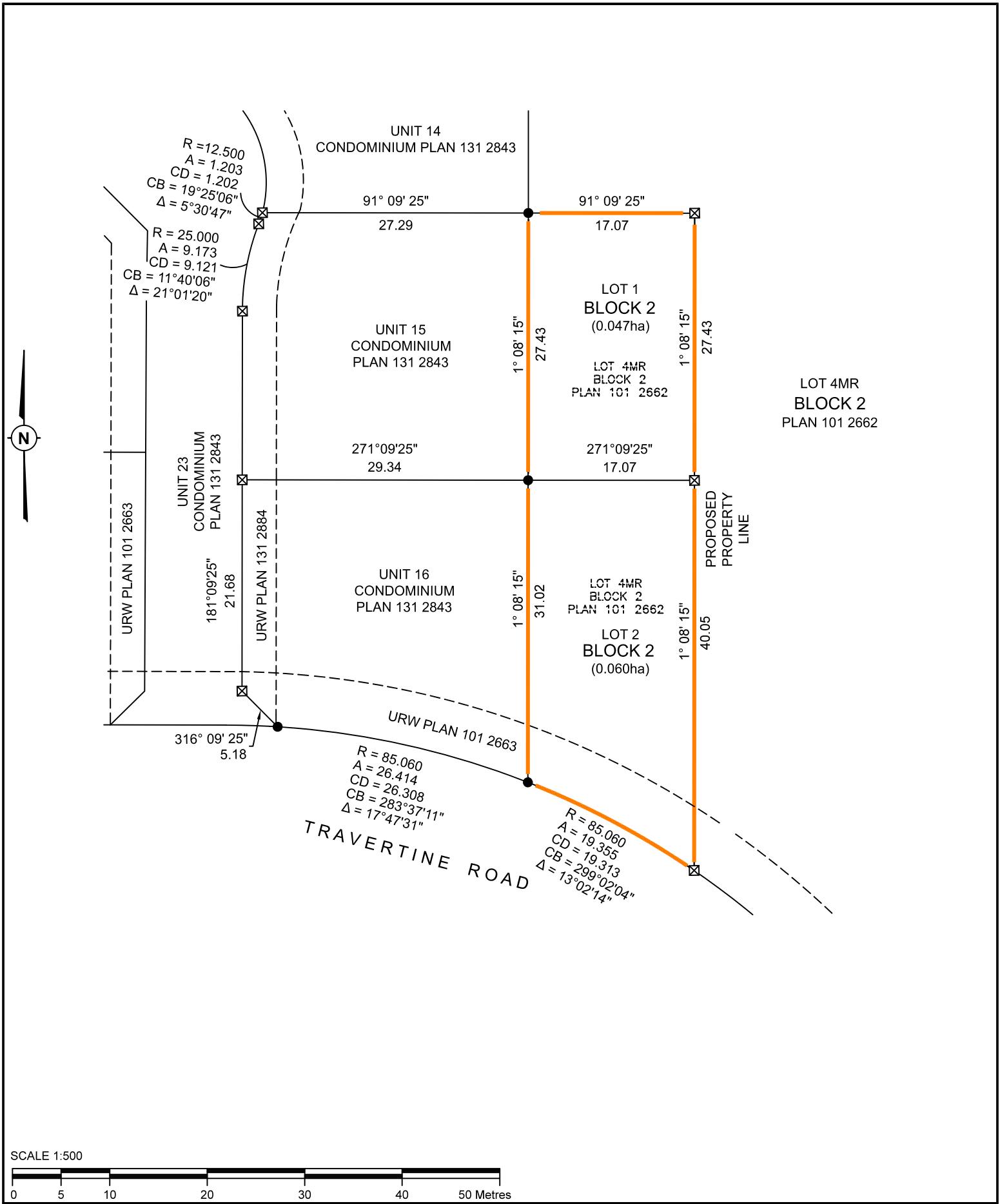
WGS_1984_Web_Mercator_Auxiliary_Sphere
© OpenStreetMap contributors

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

© Town of Raymond



SUBDIVISION AUTHORITY

Name: Oldman River Regional Services Commission

REGISTERED OWNER(S)

Certificate of Title: Lot 4MR - 101 198 775 +12
Owner(s): The Town of Raymond

LEGEND/NOTES

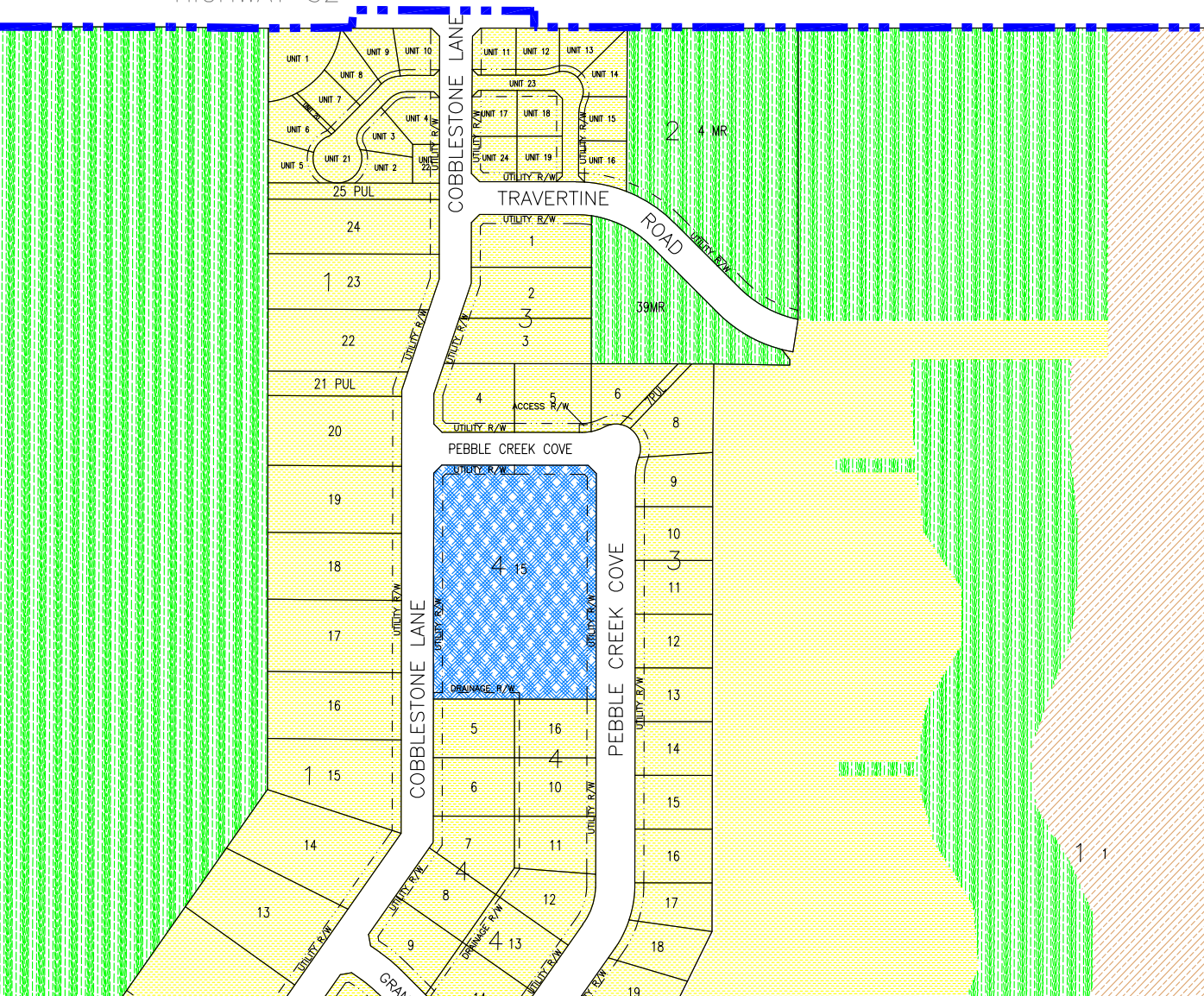
Statutory Iron Post found shown thus: ●
Calculated positions shown thus: ☒
Lands dealt with by this plan bounded thus: —
and contains 0.107 hectares.
Distances shown are in metres and decimals thereof.
Subject to revision by final survey.
There are no abandoned wells on the parcel that is the subject of this application.

Tentative Plan Showing
PROPOSED SUBDIVISION
OF
LOT 4MR, BLOCK 2, PLAN 101 2662
Town of Raymond, Alberta

Dated this 4th day of April, 2023



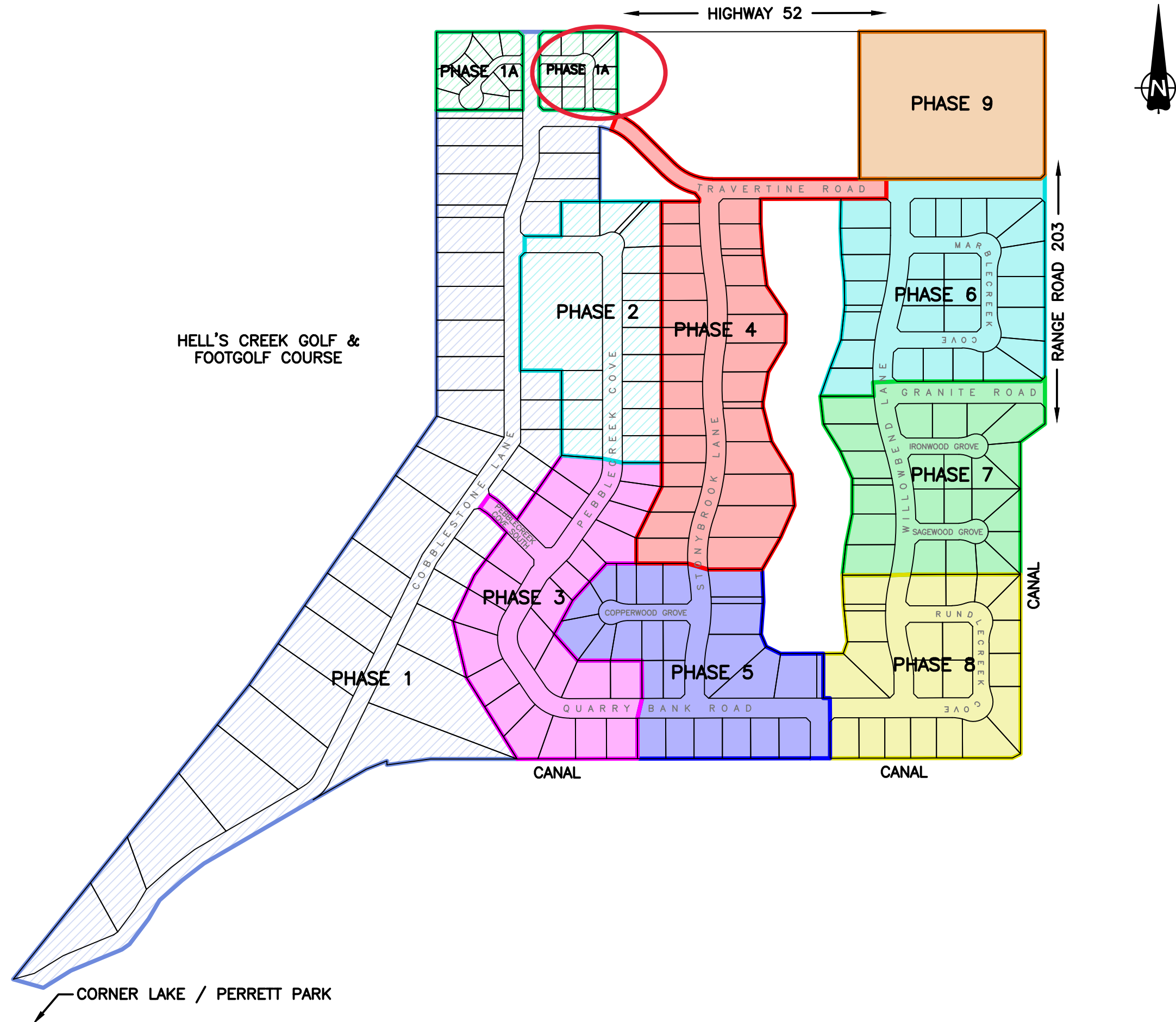
HIGHWAY 52



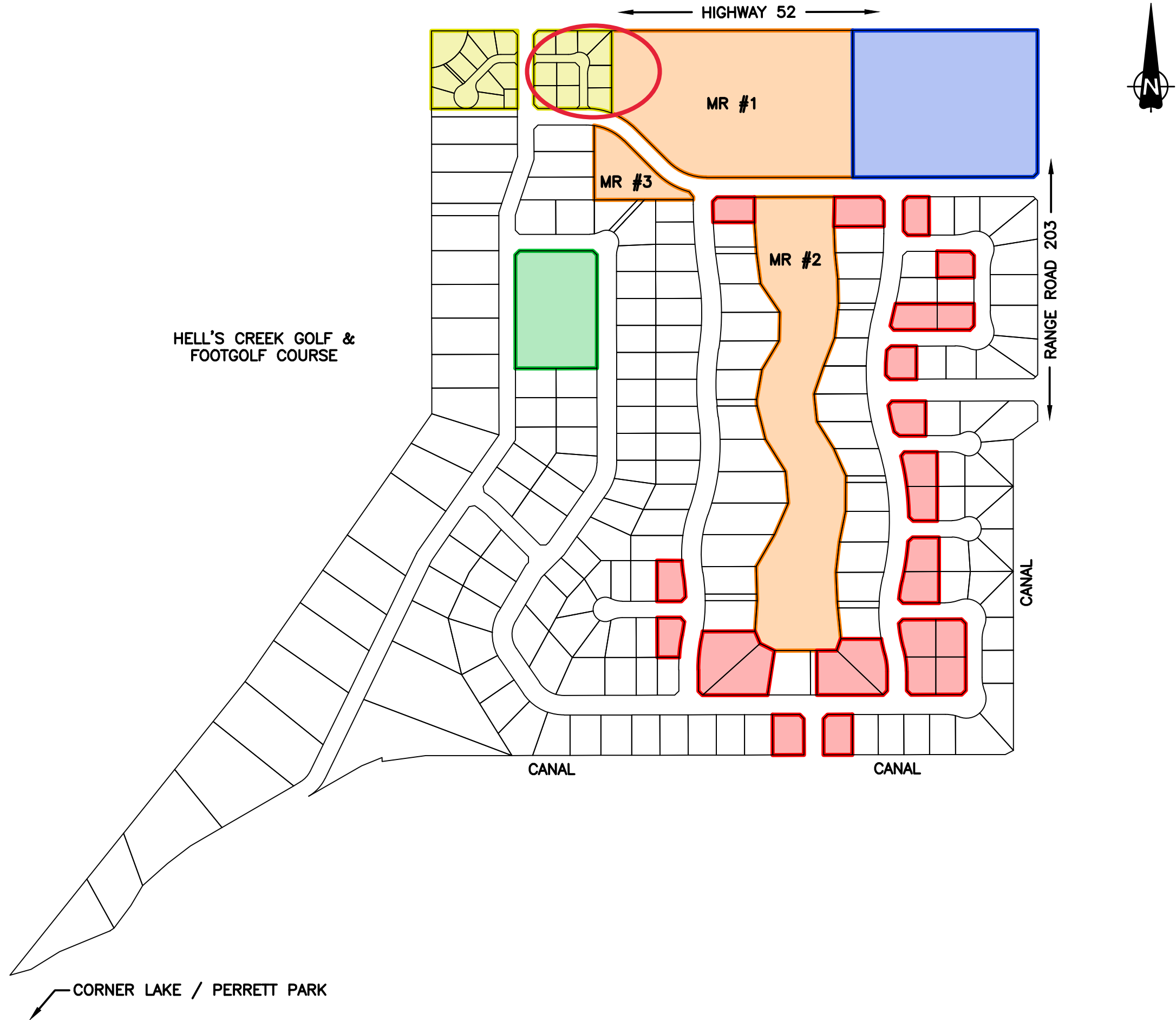
WILDE BROS. ENGINEERING LTD.
Raymond, Alberta

STONEGATE MEADOWS AREA STRUCTURE PLAN PROPOSED DEVELOPMENTAL PHASES

DESIGNED:	CHECKED:
DRAWN: JPL	JOB: 2321-01
SCALE: 1:5000	DIMENSIONS: METERS
DATE: 14 JULY 2021	DRAWING No: 2



Z:\ENGINEERING\23 - KDJEN LTD\2321\2321-01 REVISED (ASP)\ WORKING DRAWINGS\SUPPORT FILES\2321-01 - ASP DRAWINGS.DWG (6) LAND USES [PLOTTED ON 14 JUL 2021 - 10:46]



LEGEND / NOTES

POTENTIAL MULTI-UNIT DWELLING

NEIGHBORHOOD COMMERCIAL

BARELAND CONDOMINIUM

INSTITUTIONAL

MUNICIPAL RESERVE

0	14JUL'21	PRELIMINARY
ISSUE	DATE	REVISION DESCRIPTION

WILDE BROTHERS
ENGINEERING LTD.
PERMIT TO PRACTICE
P08438

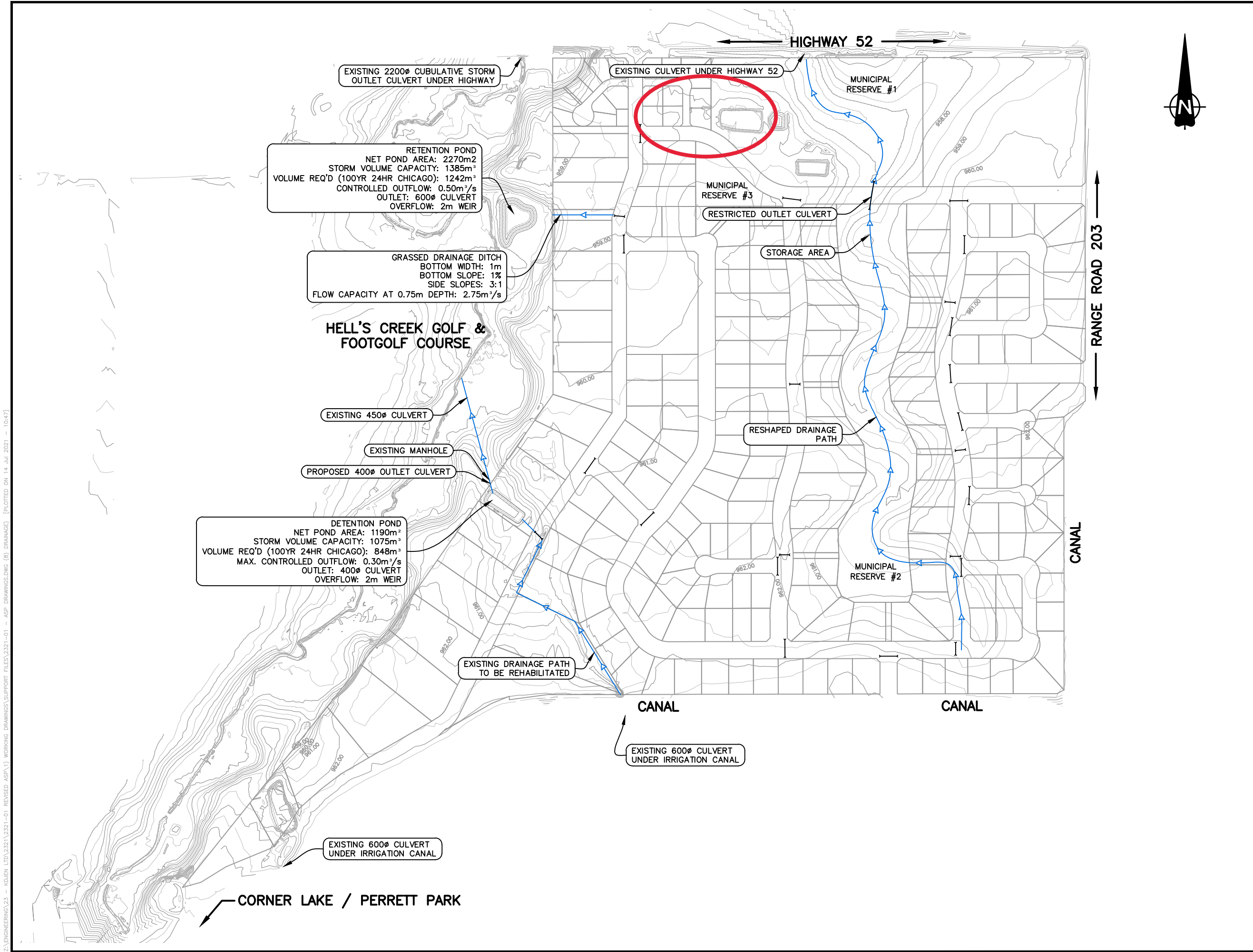
WILDE BROS. ENGINEERING LTD.
Raymond, Alberta

KDJEN LTD

STONEGATE MEADOWS
AREA STRUCTURE PLAN
PROPOSED LAND USES

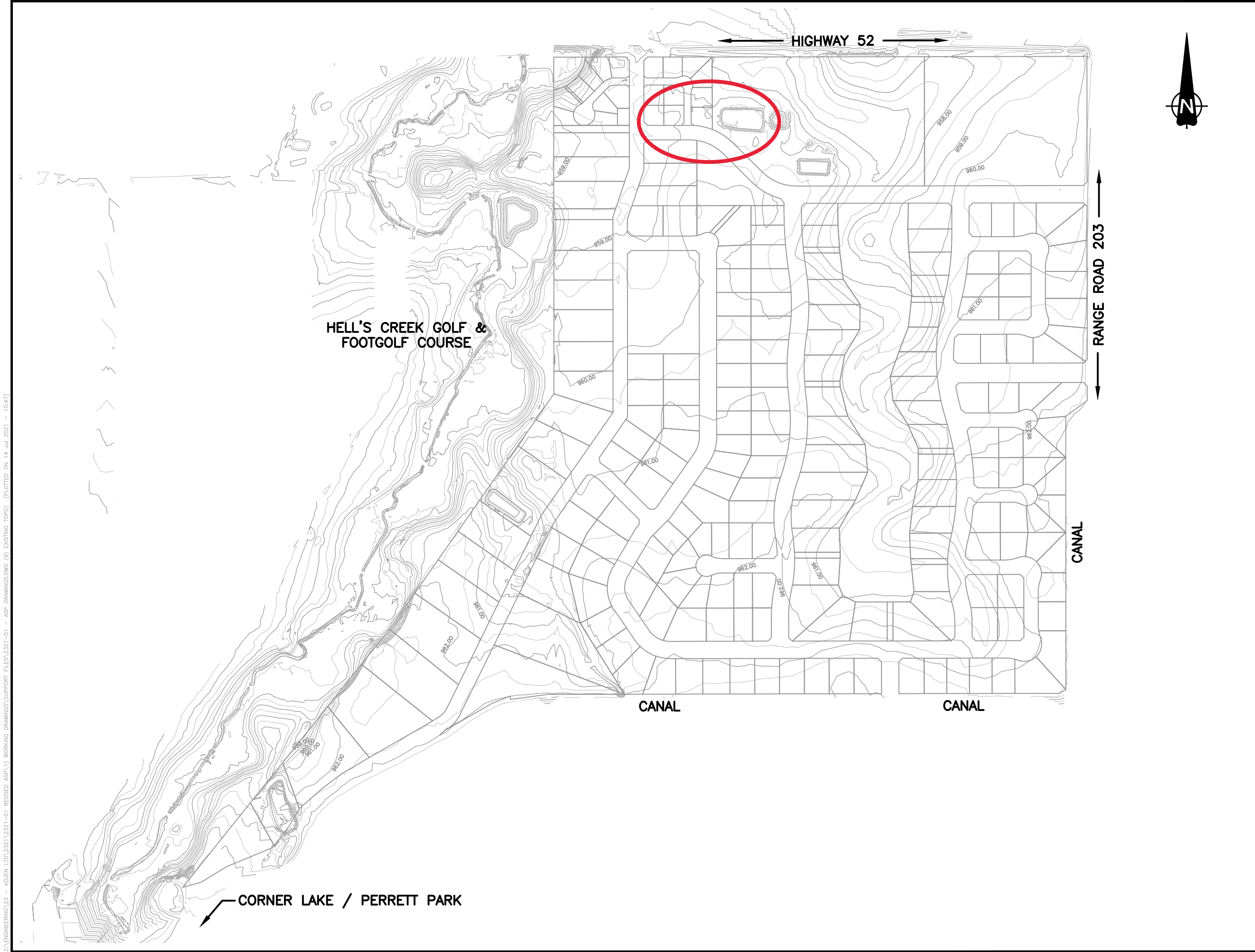
DESIGNED:	CHECKED:
DRAWN: JPL	JOB: 2321-01
SCALE: 1:5000	DIMENSIONS: METERS
DATE: 14 JULY 2021	DRAWING No: 6

Z:\ENGINEERING\23 - KDJEN LTD\2321\2321-01 REVISED (ASP)\1 WORKING DRAWINGS\SUPPORT FILES\2321-01 - ASP DRAWINGS.DWG (6) DRAINAGE [PLOTTED ON 14 Jul 2021 - 10:47]



LEGEND / NOTES			
0	14JUL'21	PRELIMINARY	
ISSUE	DATE	REVISION	DESCRIPTION
WILDE BROTHERS ENGINEERING LTD. PERMIT TO PRACTICE P08438			
WILDE BROS. ENGINEERING LTD. Raymond, Alberta			
KDJEN LTD			
STONEGATE MEADOWS AREA STRUCTURE PLAN EXISTING & PROPOSED DRAINAGE PATHS			
DESIGNED:		CHECKED:	
DRAWN: JPL		JOB: 2321-01	
SCALE: 1:5000		DIMENSIONS: METERS	
DATE: 14 JULY 2021		DRAWING No: 8	

Z:\ENGINEERING\23 - KDJEN LTD\2321\2321-01 REVISED (ASPI)\ WORKING DRAWINGS\SUPPORT FILES\2321-01 - ASP DRAWINGS.DWG (9) EXISTING TOPO) [PLOTTED ON 14 Jul 2021 - 10:47]



LEGEND / NOTES

0	14JUL'21	PRELIMINARY
ISSUE	DATE	REVISION DESCRIPTION

WILDE BROTHERS
ENGINEERING LTD.
PERMIT TO PRACTICE
P08438

WILDE BROS. ENGINEERING LTD.
Raymond, Alberta

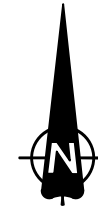
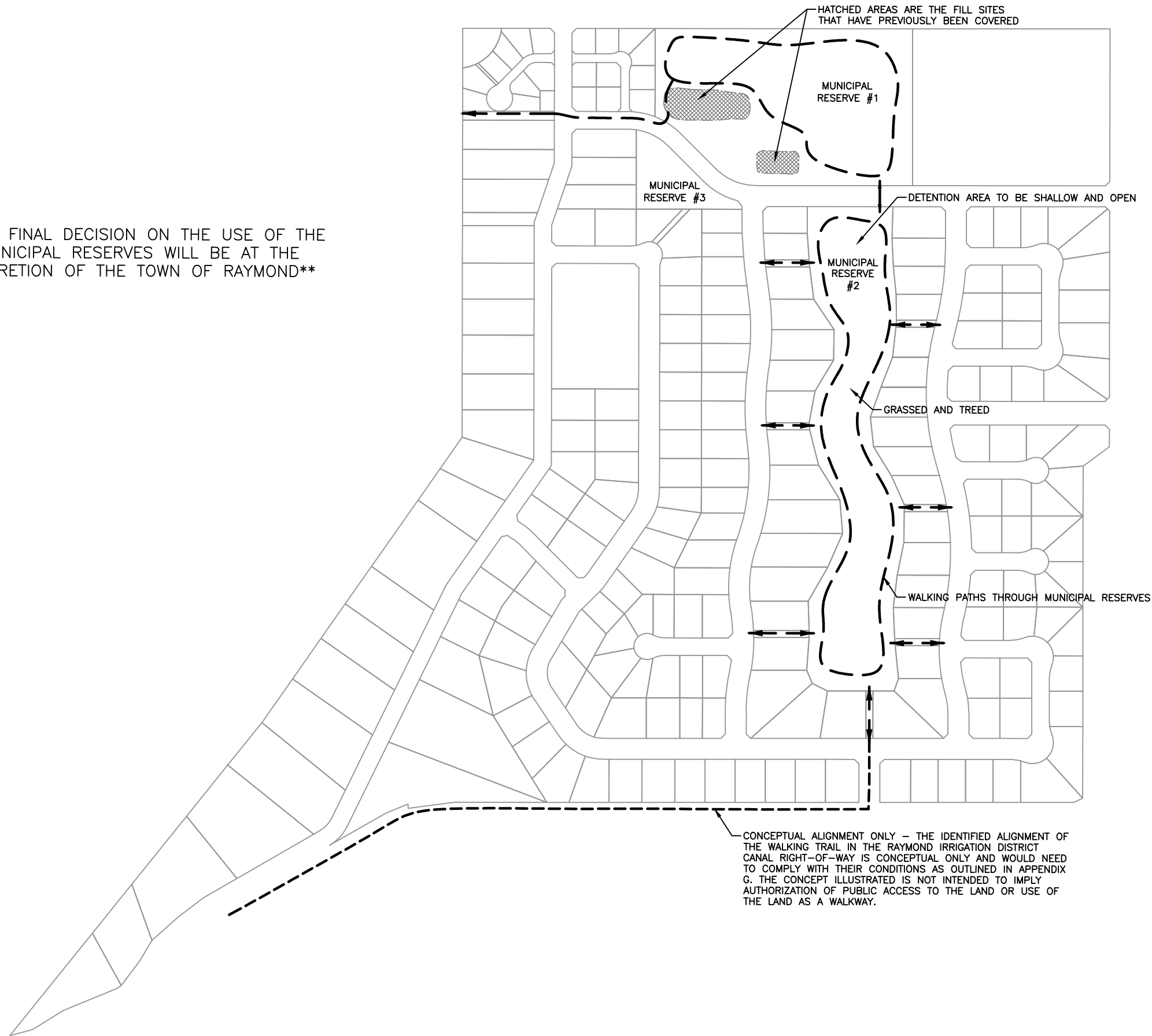
KDJEN LTD

STONEGATE MEADOWS
AREA STRUCTURE PLAN
EXISTING TOPOGRAPHY

DESIGNED:	CHECKED:
DRAWN: JPL	JOB: 2321-01
SCALE: 1:5000	DIMENSIONS: METERS
DATE: 14 JULY 2021	DRAWING No: 9

Z:\ENGINEERING\23 - KDJEN LTD\2321\2321-01 REVISED (ASP)\1 WORKING DRAWINGS\SUPPORT FILES\2321-01 - ASP DRAWINGS.DWG (13) WALKING PATHS] [PLOTTED ON 14 JUL 2021 - 10:47]

THE FINAL DECISION ON THE USE OF THE MUNICIPAL RESERVES WILL BE AT THE DISCRETION OF THE TOWN OF RAYMOND



LEGEND / NOTES

0	14JUL'21	PRELIMINARY
ISSUE	DATE	REVISION DESCRIPTION

WILDE BROTHERS
ENGINEERING LTD.
PERMIT TO PRACTICE
P08438

WILDE BROS. ENGINEERING LTD.
Raymond, Alberta

KDJEN LTD

STONEGATE MEADOWS
AREA STRUCTURE PLAN
PROPOSED WALKING PATHS

DESIGNED:	CHECKED:
DRAWN: JPL	JOB: 2321-01
SCALE: 1:5000	DIMENSIONS: METERS
DATE: 14 JULY 2021	DRAWING No: 13

AERIAL PHOTO 12/05/1998



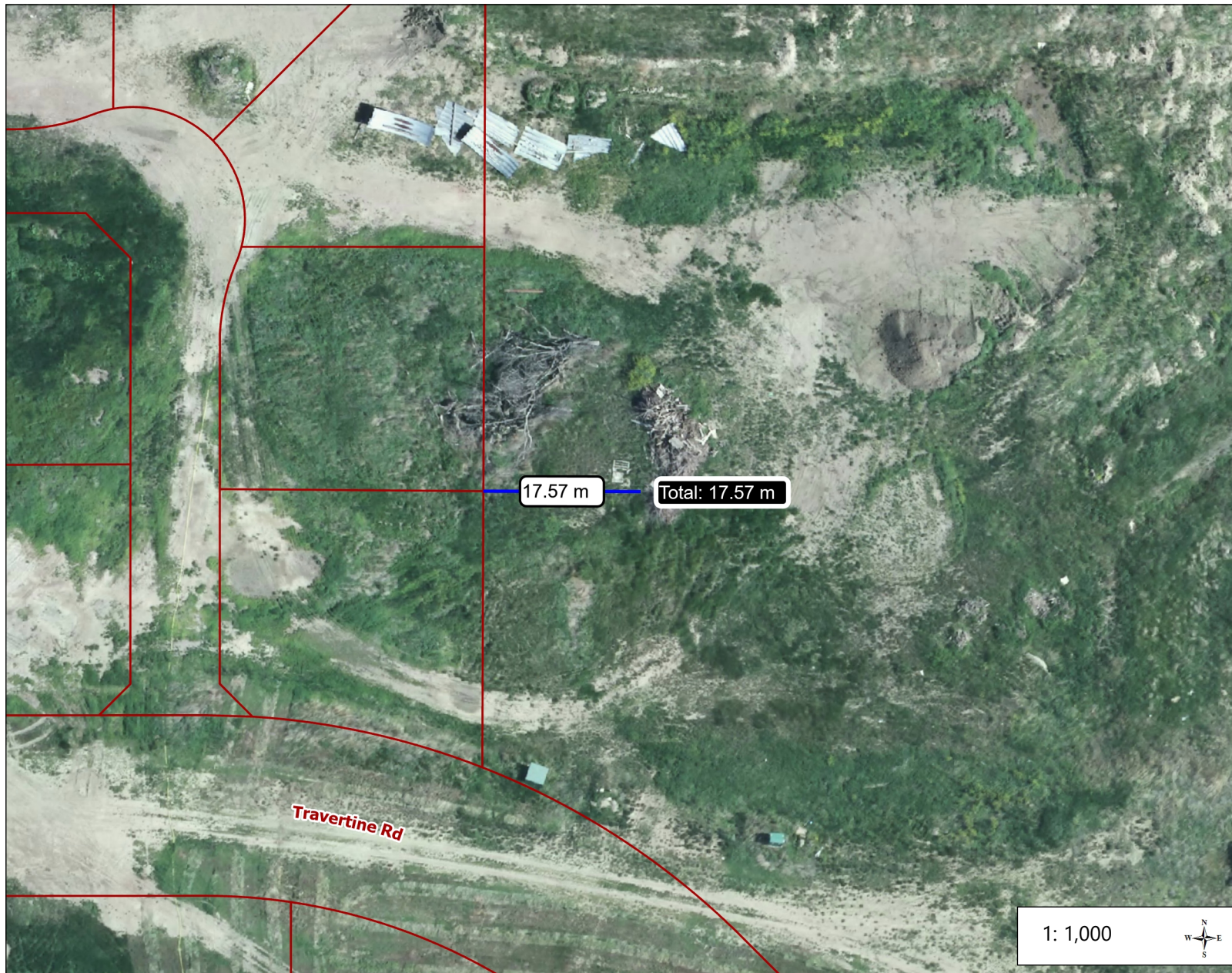
Aerial Photo 15/06/2013

Town of Raymond



Legend

- Road Labels
- Hwy 845
- Hwy 845 Symbol
- Hwy 52 Symbol
- Hwy 52
- Town Boundary
- Closed Roads
- Waste Transfer 300m Buffer
- Title Linework
- Parcels



0.1 0 0.03 0.1 Kilometers

WGS_1984_Web_Mercator_Auxiliary_Sphere
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THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

© Town of Raymond

y : 16
766.31

Property : 24
Area : 797.28

y : 13
772.91

Property : 12
Area : 791.23

Property : 17
Area : 14879.25

6.045m

17.070m

0+060

0+080

0+100



LAND TITLE CERTIFICATE

S

LINC

SHORT LEGAL

TITLE NUMBER

0034 379 123

1012662;2;4MR

101 198 775 +12

LEGAL DESCRIPTION

PLAN 1012662

BLOCK 2

LOT 4MR (MUNICIPAL RESERVE)

EXCEPTING THEREOUT ALL MINES AND MINERALS

AREA: 1.49 HECTARES (3.68 ACRES) MORE OR LESS

ESTATE: FEE SIMPLE

ATS REFERENCE: 4;20;6;9;NE

MUNICIPALITY: TOWN OF RAYMOND

REFERENCE NUMBER: 101 017 646 +2

101 017 482 +2

REGISTERED OWNER(S)

REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
--------------	------------	---------------	-------	---------------

101 198 775	06/07/2010	SUBDIVISION PLAN		
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OWNERS

THE TOWN OF RAYMOND.

OF P.O. BOX 629

RAYMOND

ALBERTA T0K 2S0

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION

NUMBER	DATE (D/M/Y)	PARTICULARS
--------	--------------	-------------

741 055 580	07/06/1974	IRRIGATION ORDER/NOTICE THIS PROPERTY IS INCLUDED IN THE RAYMOND IRRIGATION DISTRICT
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751 032 013	14/04/1975	CAVEAT CAVEATOR - CANADIAN WESTERN NATURAL GAS COMPANY LIMITED. " AFFECTS PART OF THIS TITLE "
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(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2

101 198 775 +12

REGISTRATION

NUMBER DATE (D/M/Y) PARTICULARS

781 111 013 13/07/1978 UTILITY RIGHT OF WAY
GRANTEE - CANADIAN WESTERN NATURAL GAS COMPANY
LIMITED.
"AFFECTED LAND: 4;20;6;9;NE"
" AFFECTS PART OF THIS TITLE "

861 039 385 07/03/1986 UTILITY RIGHT OF WAY
GRANTEE - CANADIAN WESTERN NATURAL GAS COMPANY
LIMITED.
" AFFECTS PART OF THIS TITLE "

871 166 815 14/09/1987 UTILITY RIGHT OF WAY
GRANTEE - THE VILLAGE OF STIRLING.
(DATA UPDATED BY: TRANSFER OF UTILITY RIGHT
OF WAY 091374097)

871 180 924 01/10/1987 UTILITY RIGHT OF WAY
GRANTEE - THE VILLAGE OF STIRLING.
" AFFECTS PART OF THIS TITLE "

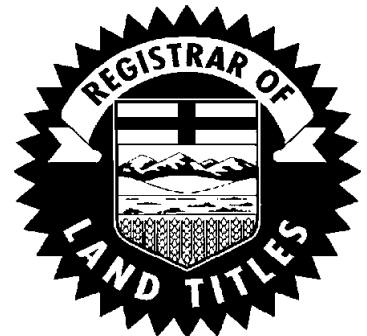
(DATA UPDATED BY: TRANSFER OF UTILITY RIGHT
OF WAY 091374097)

TOTAL INSTRUMENTS: 006

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 5 DAY OF APRIL,
2023 AT 11:06 A.M.

ORDER NUMBER: 46902776

CUSTOMER FILE NUMBER:



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
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SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

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